

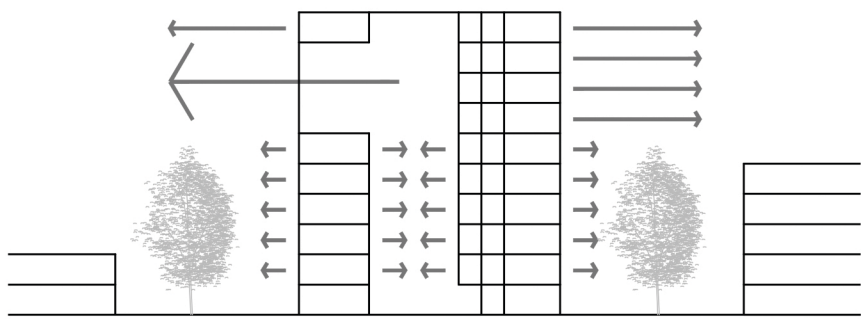
General DBII and DB III building - office space

Both buildings use the same flexible layout of office spaces. The raster of the facade allows division walls on the raster of 1.33m. The depth of the working area is +5m from facade which allows that all kind of office layouts (teamwork, individual office, shared office, open office, meeting rooms). The office units have all more than 200m2 and their kitchenette. The floor layout permits joining them to a larger unit that more than 2000m2.

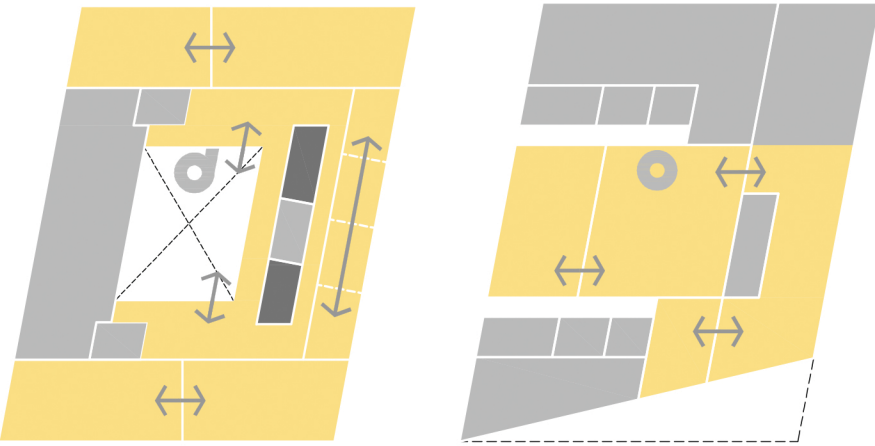
DBIII building

We arrange the program vertically in the following manner: the top 9th floor is VIP office floor, 2nd-8th floors are the only office, the 1st floor is meeting/congress center and office. The ground floor contains a semi-public program - entrance lobby with art gallery space, restaurant-coffee and fitness studio. There is some space also reserved for private logistic (garbage, transformations station and other technical areas). The basement contains the rationally arranged own parking zone.

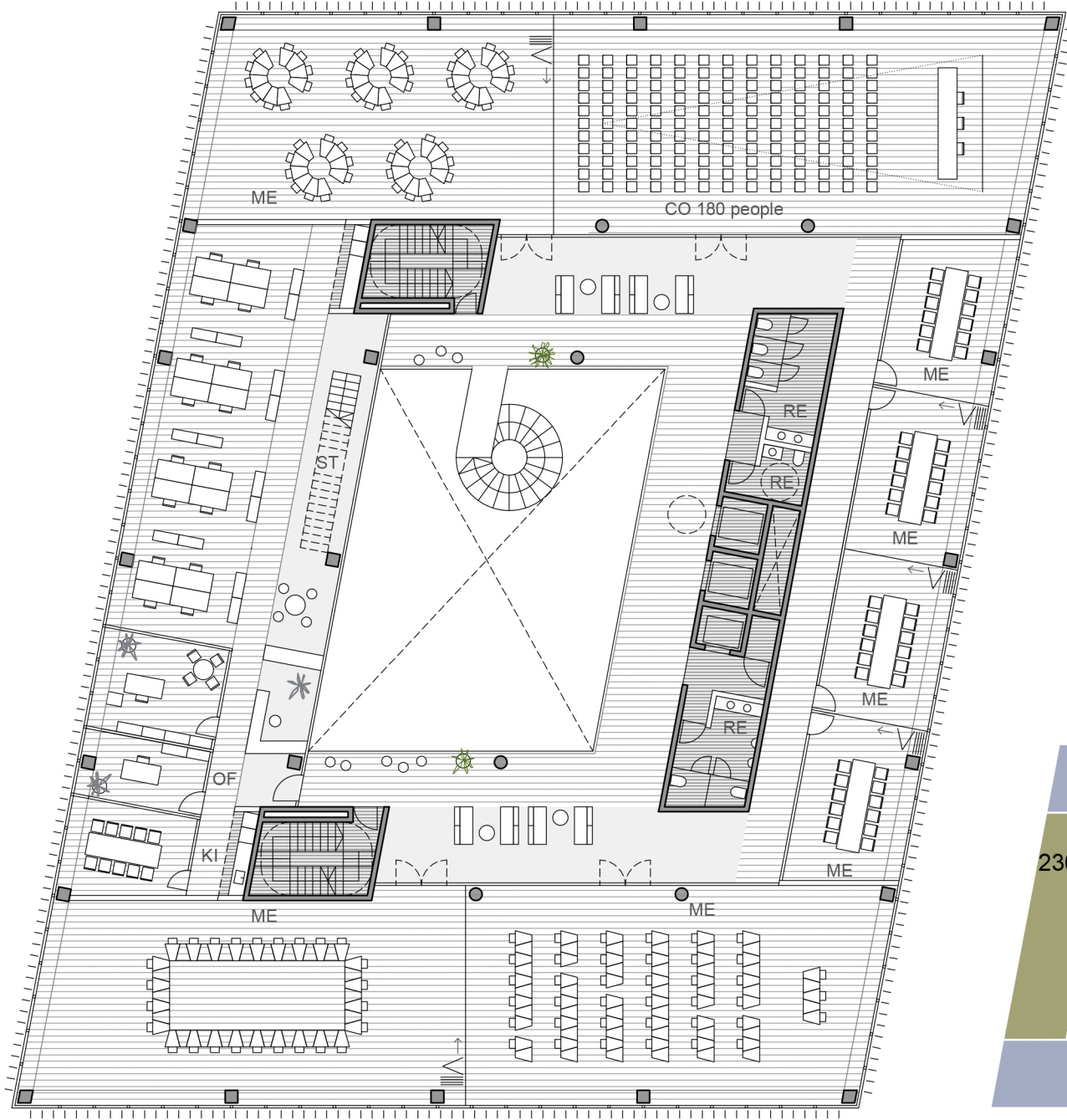
In the ground floor in front of elevators, there is placed access control for the private office area. The restaurant and fitness center are both accessible from the main lobby and directly from outside, which permits their independence from office lobby opening hours. Through the spiral staircase, the public can access the meeting-congress center which is on the 1st floor. We design the meeting center, lobby, and restaurant as interconnected space which allows synergy between these program areas for special events (catering into meeting rooms, informal meeting in a restaurant, art events in the lobby with catering from the restaurant, great reception or concert in the lobby). The conference room can host more than 100 visitors. Different halls and meeting rooms can join by division walls. We arrange the office floors around the central atrium space. The access to separate office blocks is from the corridor that faces the atrium and connects both emergency staircases. Each level can offer the possibility of subdivision into office blocks that are bigger than 200m2, and there is a possibility to arrange internal staircase that can connect two or more floors allowing to rent out bigger units with more than 1500m2. The outside terraces at the two big openings can be accessible to all office users.



views on lower floors are towards trees and the atrium, on the upper floors to the city and mountains

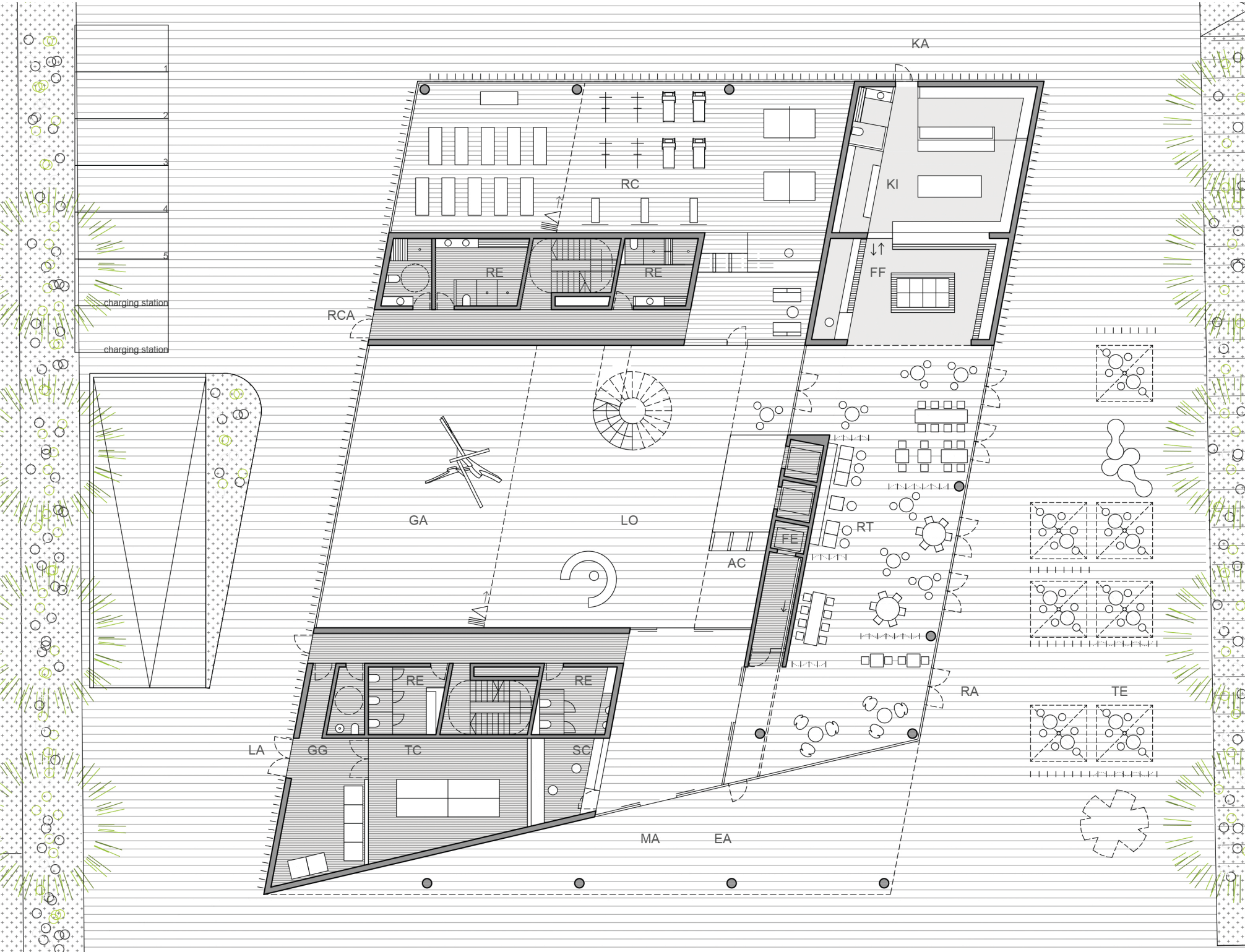


ground floor and 1. floor can function as one continuous space with atrium as spatial connection space



- CO Conference hall
- ME Meeting rooms
- RE Restrooms
- KI Kitchenette
- OF Office unit
- ST Interior stairs (optional)

first floor 1:250

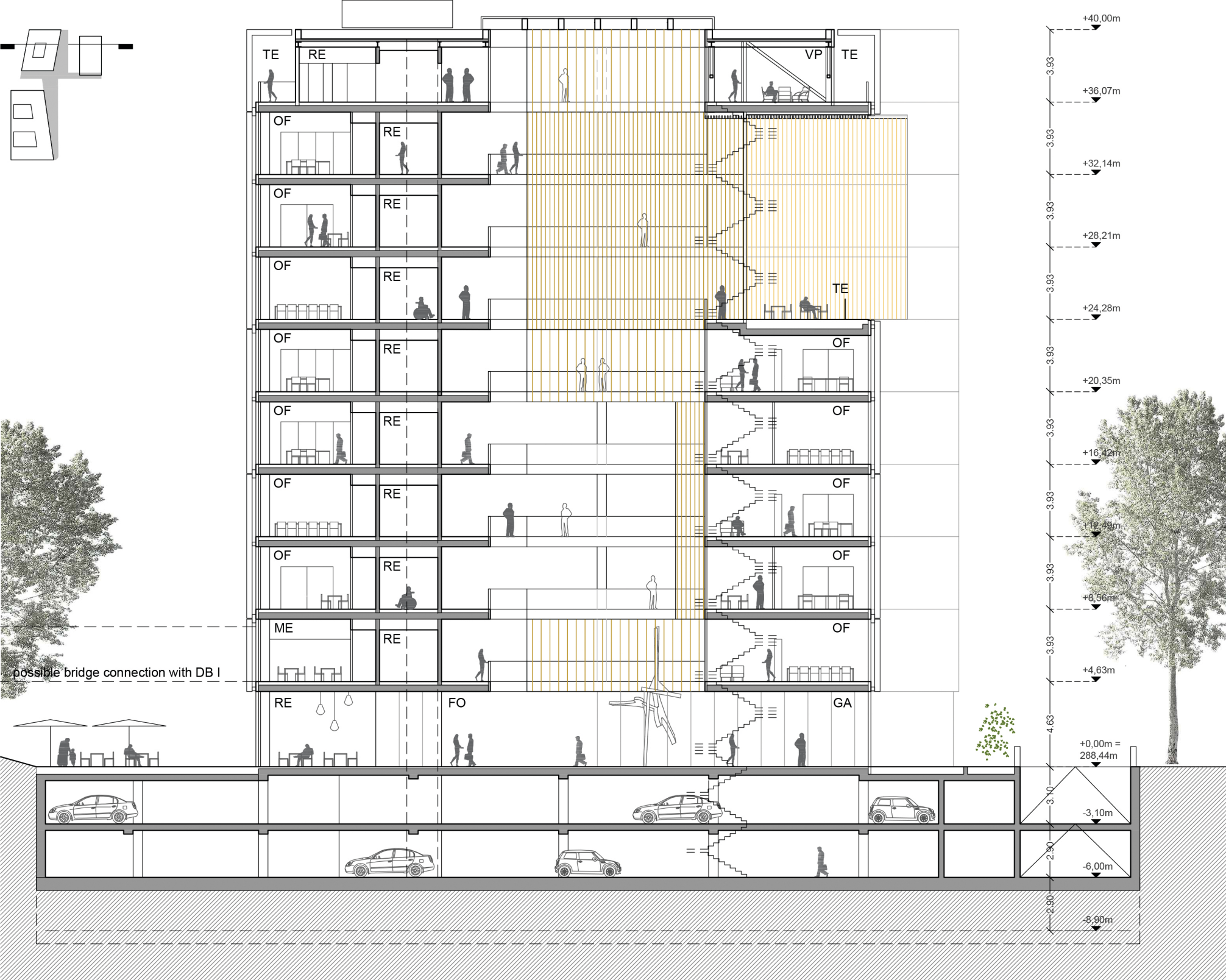
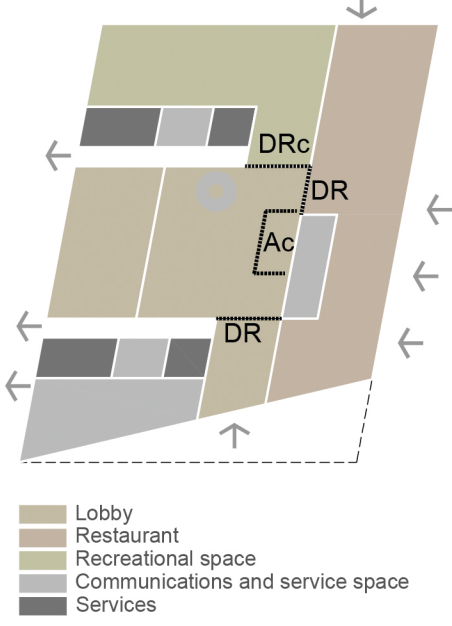


ground floor 1:250

- RT Restaurant/coffee shop
- FF Free flow
- KI Kitchen
- GA Gallery
- LO Lobby/reception
- RC Recreation facilities
- RE Restrooms
- AC Access control
- SC Security
- TC Technical space (transformation station...)
- FE Fireman - service elevator
- GG Garbage
- OF Offices
- VP VIP Offices
- ME Meeting rooms
- TE Terrace

- MA Main access
- RA Restaurant access
- LA Logistic access
- EA Emergency access (firemen)
- KA Kitchen access
- RCA Recreation area after hours access

- AC zone accessible for employees
- DR door that closes the lobby in after hours when the restaurant is still active
- DRc door that closes the lobby in after hours when recreational center is still active



section AA

BAX studio



on the upper floors atrium opens towards the city center and the mountains



on the lower floors atrium functions as the grand foyer